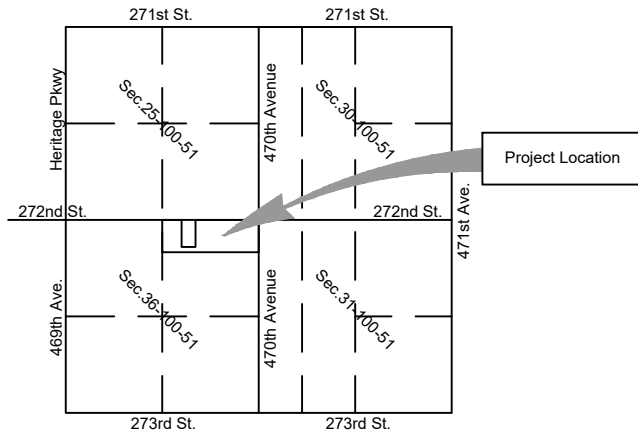
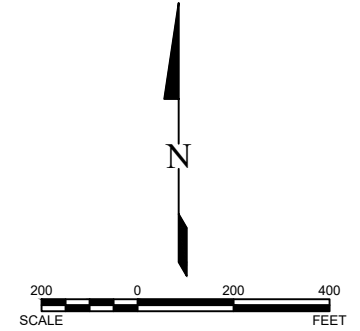


**PRELIMINARY PLANS**  
**FOR**  
**HARVARD INDUSTRIAL PARK**  
**ADDITION**  
**TO THE CITY OF**  
**TEA, SOUTH DAKOTA**

2024



**VICINITY MAP**  
(NTS)

**SURVEY:**  
 PRE-DEVELOPMENT SURVEY COMPLETED  
 IN FEBRUARY 2024 (SEE SHEET 3).

**DEVELOPER/OWNER INFORMATION:**

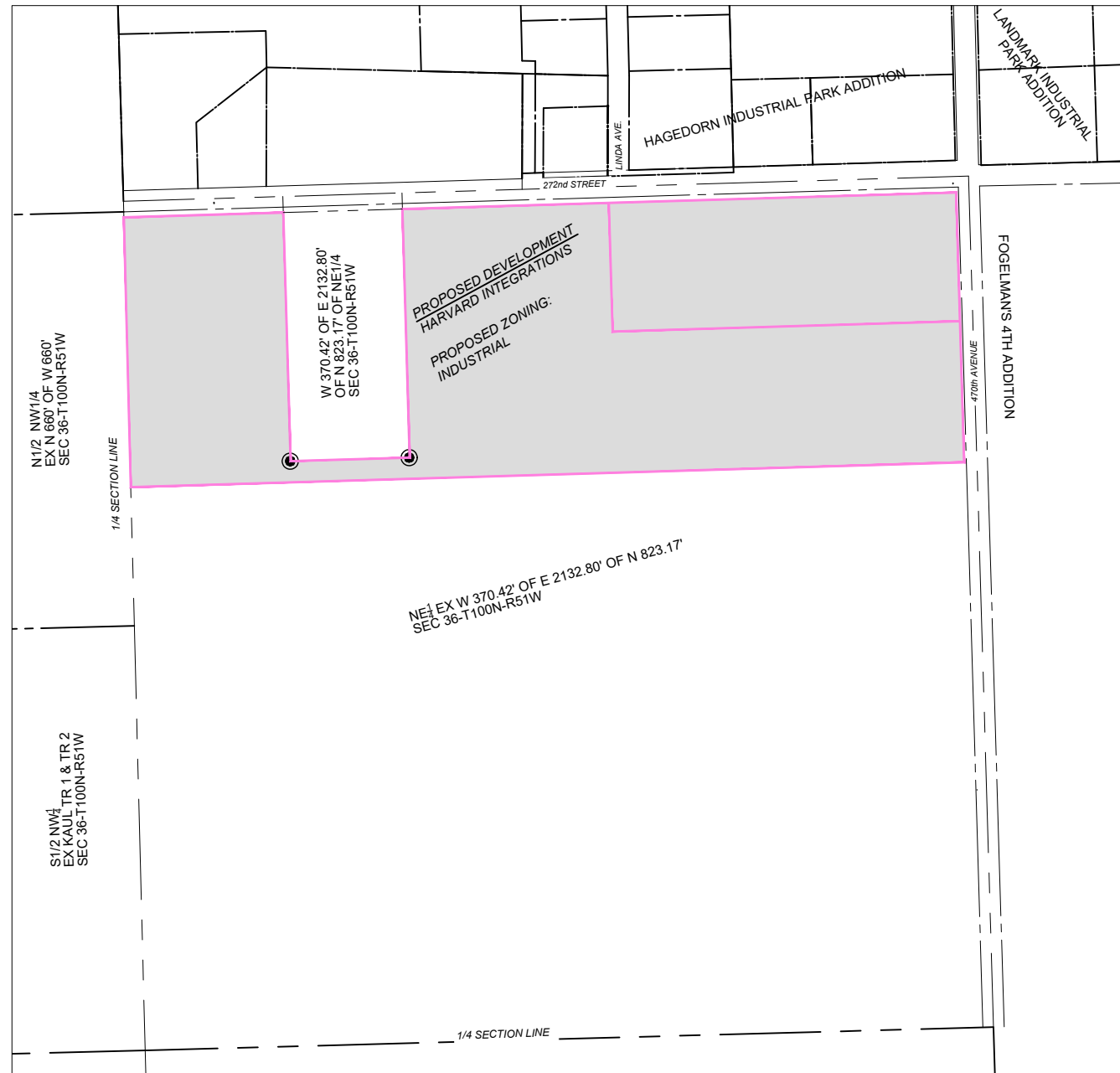
HARVARD INTEGRATIONS, INC.  
 ADAM AASEN  
 27157 470TH AVE.  
 TEA, SD 57064  
 605-368-5306  
 aaasen@harvardintegrations.com

**ENGINEER/SURVEYOR:**

KLJ ENGINEERING  
 OWEN LABRIE, PE  
 DAVID SORENSON, PLS  
 5110 E. 57TH STREET  
 SIOUX FALLS, SD 57108  
 PHONE: (605) 271-4414

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT  
 WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL  
 SUPERVISION AND THAT I AM A DULY REGISTERED  
 PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF  
 SOUTH DAKOTA.

BY \_\_\_\_\_ DATE \_\_\_\_\_  
 OWEN LABRIE, PE



**LEGAL DESCRIPTION:**

THE NORTHEAST QUARTER (NE 1/4), EXCEPT THE WEST 370.42 FEET OF THE EAST 2132.80 FEET OF THE NORTH 823.17 FEET THEREOF, OF SECTION THIRTY-SIX (36), TOWNSHIP ONE HUNDRED (100), RANGE FIFTY-ONE (51), LINCOLN COUNTY, SOUTH DAKOTA, ACCORDING TO THE GOVERNMENT SURVEY THEREOF.

DRAWING INDICATES GENERAL UTILITY LOCATIONS ONLY.  
 NEITHER THE CORRECTNESS NOR COMPLETENESS OF LOCATIONS ARE GUARANTEED.  
 CONTACT SOUTH DAKOTA ONE CALL PRIOR TO EXCAVATIONS. (1-800-781-7474)

**LEGEND**

- SECTION LINE
- PROPOSED LOT LINE
- EXISTING PROPERTY LINE

**INDEX OF SHEETS:**

- SHEET 1 TITLE SHEET
- SHEET 2 PRELIMINARY SUBDIVISION PLAN
- SHEET 3 PRELIMINARY DRAINAGE PLAN - PRE-DEVELOPMENT
- SHEET 4 PRELIMINARY DRAINAGE AND GRADING PLAN
- SHEET 5 PRELIMINARY UTILITY PLAN

**CITY PLANNING COMMISSION APPROVAL**

THE CITY PLANNING COMMISSION OF THE CITY OF TEA APPROVES THE PRELIMINARY PLAN OF 272ND STREET DEVELOPMENT TO THE CITY OF TEA AND THAT THE SAME BE CERTIFIED TO THE CITY COUNCIL OF TEA, WITH RECOMMENDATION THAT THE PRELIMINARY PLAN OF 272ND STREET DEVELOPMENT TO THE CITY OF TEA BE APPROVED.

\_\_\_\_\_  
 CITY PLANNING COMMISSION (CHAIR)

**CITY ENGINEER APPROVAL**

I, \_\_\_\_\_, CITY ENGINEER OF THE CITY OF TEA, DO HEREBY CERTIFY THAT I OR AN AUTHORIZED AGENT OF MINE DID DULY APPROVE THIS PRELIMINARY PLAN ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
 CITY ENGINEER CITY OF TEA, SOUTH DAKOTA

**CITY COUNCIL APPROVAL**

BE IT RESOLVED BY THE CITY COUNCIL OF TEA, THAT THE PRELIMINARY PLAN OF 272ND STREET DEVELOPMENT TO THE CITY OF TEA IS HERBY APPROVED AND THAT THE CITY CLERK IS HEREBY DIRECTED TO ENDORSE ON SUCH PLAN A COPY OF THIS RESOLUTION AND CERTIFY THE SAME THEREON. ADOPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
 MAYOR, CITY OF TEA

I, \_\_\_\_\_, THE DULY APPOINTED, QUALIFIED AND ACTING CITY CLERK OF THE CITY OF TEA, SOUTH DAKOTA, HEREBY CERTIFY THAT THE ABOVE RESOLUTION IS A TRUE AND CORRECT COPY OF THE RESOLUTION ADOPTED BY THE CITY COUNCIL OF TEA, AT A MEETING HELD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

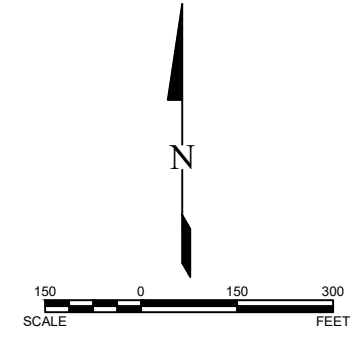
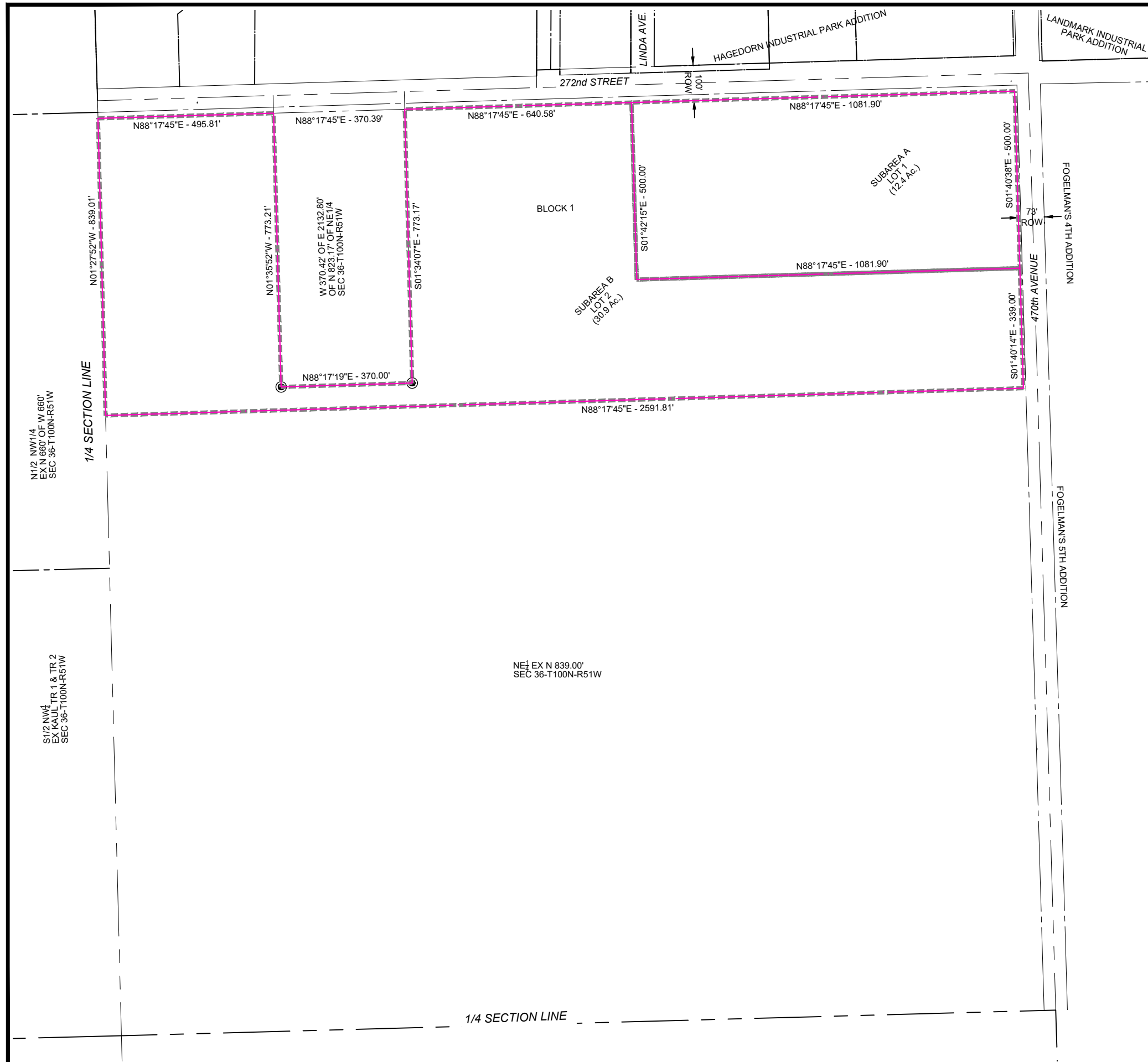
WITNESS MY HAND AS CLERK OF RECORDS AND THE OFFICIAL SEAL OF THE CITY OF TEA, SOUTH DAKOTA.

\_\_\_\_\_  
 CITY CLERK CITY OF TEA, SOUTH DAKOTA



KLJ PROJECT NO. 2310-01967

**PRELIMINARY - NOT FOR CONSTRUCTION**



**LEGEND**

- SECTION LINE
- - - LOT LINE
- EXISTING PROPERTY LINE
- ■ ■ ■ ■ SUBAREA BOUNDARY

**SUBAREA SUMMARY**

SUBAREA	ZONING	AREA
A	L1	12.4 ACRES
B	L1	30.9 ACRES
		43.3 ACRES

ALL ZONING TYPES TO MEET THE REQUIREMENTS OF THE TEA ZONING ORDINANCES:  
L1: LIGHT INDUSTRIAL DISTRICT, SEE CHAPTER 9

UTILITY EASEMENTS:  
A 10' UTILITY EASEMENT SHALL BE LOCATED ON ALL THE SIDES OF LOTS THAT ARE ADJACENT TO A STREET R.O.W.

PROPERTY/SETBACK REQUIREMENTS:  
(PER LIGHT INDUSTRIAL "L1" ZONING - CITY OF TEA)  
FRONT YARD = 25' (SEE NOTE 2)  
SIDE YARD = 10'  
REAR YARD = 20'  
MAXIMUM HEIGHT = 45' (SEE NOTE 1)

NOTE 1: A CONDITIONAL USE PERMIT WILL BE REQUIRED FOR ANY STRUCTURE HAVING A MAXIMUM HEIGHT EXCEEDING 45'  
NOTE 2: THERE SHALL BE A REQUIRED FRONT ON EACH STREET SIDE OF A CORNER LOT AND DOUBLE FRONTAGE LOT

BENCHMARKS:  
POINT NUMBER - 50: A SCORED "X" ON A CONCRETE LIFT STATION.  
NORTHING = 15788468.51  
EASTING = 2217603.80  
ELEVATION = 1477.21

BASIS OF SURVEY:  
ALL CONTOURS, ELEVATIONS, AND COORDINATES FOR THE PROJECT ARE BASED ON UTM ZONE 14N, NAD83/2011, US SURVEY FEET, THE VERTICAL DATUM IS NAVD 1988

NO.	DATE	REVISION

DRAFTED	HMS
REVIEWED	EJL
PROJECT NUMBER	2310-01967
ISSUE DATE	03/18/2024

**HARVARD INDUSTRIAL PARK ADDITION**  
HARVARD INTEGRATIONS  
TEA, SD  
**PRELIMINARY SUBDIVISION PLAN**



NO.	DATE	REVISION
		DRAFTED HMS
		REVIEWED EJL
		PROJECT NUMBER 2310-01967
		ISSUE DATE 03/18/2024

**HARVARD INDUSTRIAL PARK ADDITION**  
 HARVARD INTEGRATIONS  
 TEA, SD  
**PRELIMINARY DRAINAGE PLAN - PRE-DEVELOPMENT**

SHEET  
3

**LEGEND**

- DRAINAGE BASIN BOUNDARY
- EXISTING DRAINAGE DIRECTION
- EXISTING SUB-BASIN NUMBER
- EXISTING PROPERTY LINE
- FLOOD HAZARD AREAS SUBJECT TO 1% FLOOD
- FLOODWAY AREAS IN ZONE AE

**PRE-DEVELOPMENT OFF-SITE DRAINAGE:**

PRE-DEVELOPMENT FLOWS FROM THE SITE LEAVE THE SUBDIVISION TO THE SOUTH AND FLOW TO NINE MILE CREEK. NINE MILE CREEK CROSSES BELOW 470TH AVE APPROXIMATELY 2200' SOUTH OF THE 272ND ST. INTERSECTION.

EDA #1 FLOWS FROM NORTH TO SOUTH AND DISCHARGES AT THE SE CORNER OF THE BASIN. FLOWS COMBINE WITH DITCH FLOWS FROM THE 2x54" RCP CROSSING OF 272ND ST.

EDA #2 GENERALLY DRAINS FROM NE TO SW ACROSS THE PROPERTY. FLOWS FROM THIS BASIN COMBINE WITH PIPE FLOWS FROM THE 30" HP PIPE THAT CROSSES UNDER 272ND ST.

EDA #3 FLOWS ARE CARRIED ALONG THE DITCHES OF 272ND AND 470TH ST. THESE FLOWS COMBINE WITH THE FLOWS FROM THE 30" RCPA CROSSING AT THE INTERSECTION OF 272ND/470TH AND FLOW SOUTH TO NINE MILE CREEK.

EDA #4 FLOWS ARE CARRIED ALONG THE DITCHES OF 272ND ST TO THE DRAINAGE CROSSING OF A DOUBLE-54" RCP. THESE FLOWS ARE CONVEYED IN A DITCH SECTION THROUGH THE DEVELOPMENT BEFORE THEY DISCHARGE TO THE SOUTH TO NINE MILE CREEK.

HAGEDORN INDUSTRIAL ADDITION  
 30" RCPA DRAINAGE CROSSING  
 PQ2YR = 34.3 CFS  
 PQ5YR = 40.8 CFS  
 PQ25YR = 49.6 CFS  
 PQ100YR = 51.4 (PIPE) + 51.3 OVERTOP  
 = 102.7 CFS

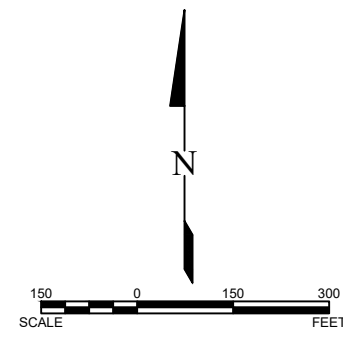
2x54" RCP DRAINAGE CROSSING  
 (FLOW RATES UNKNOWN)

272nd STREET

470th AVENUE

UNDEVELOPED  
PROPERTY

24" HP PIPE  
 (FLOW RATES UNKNOWN)





REVISION

DATE

NO.

DRAFTED  
HMS

REVIEWED  
E.JL

PROJECT NUMBER  
2310-01967

ISSUE DATE  
03/18/2024

**HARVARD INDUSTRIAL PARK ADDITION**

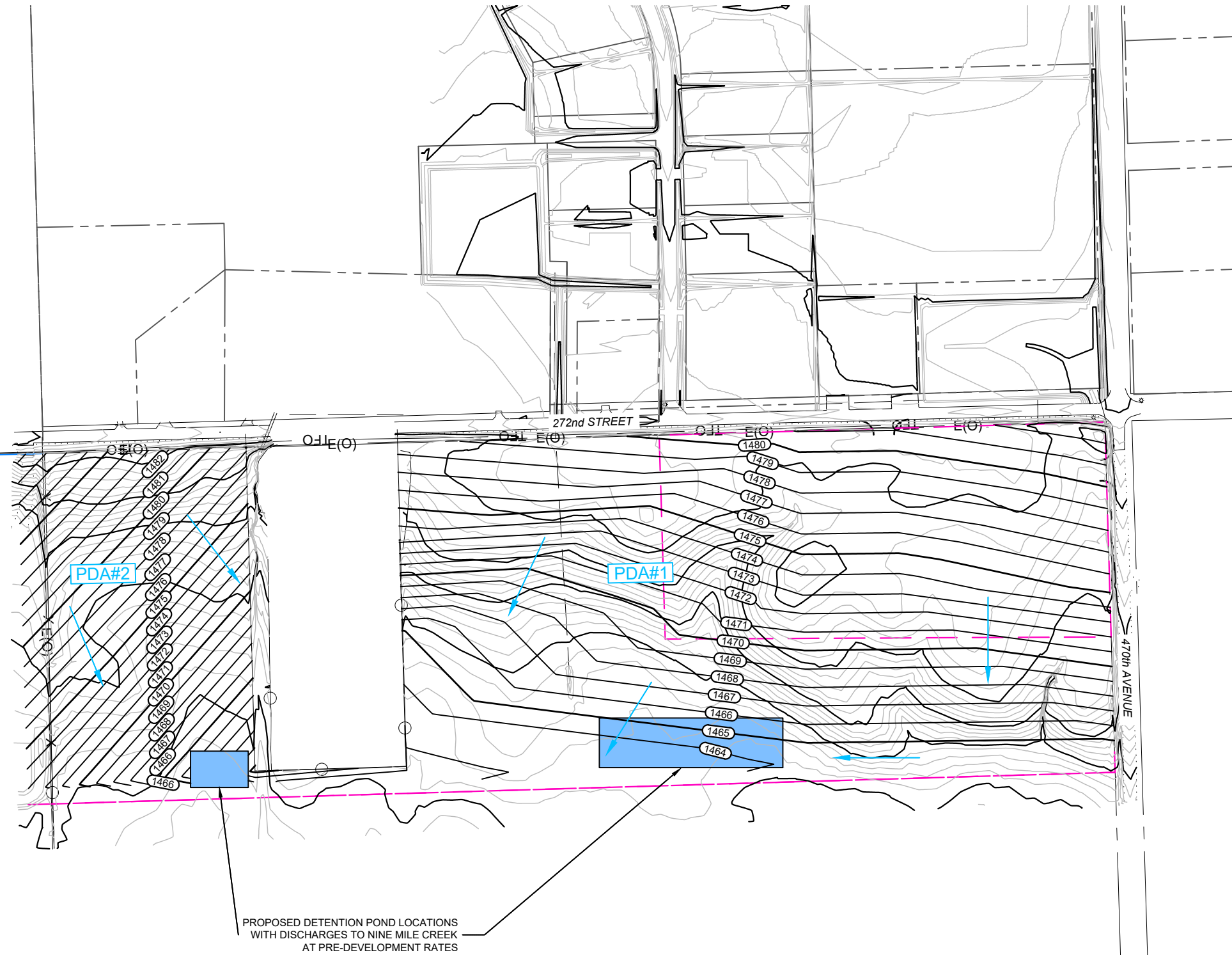
HARVARD INTEGRATIONS  
TEA, SD

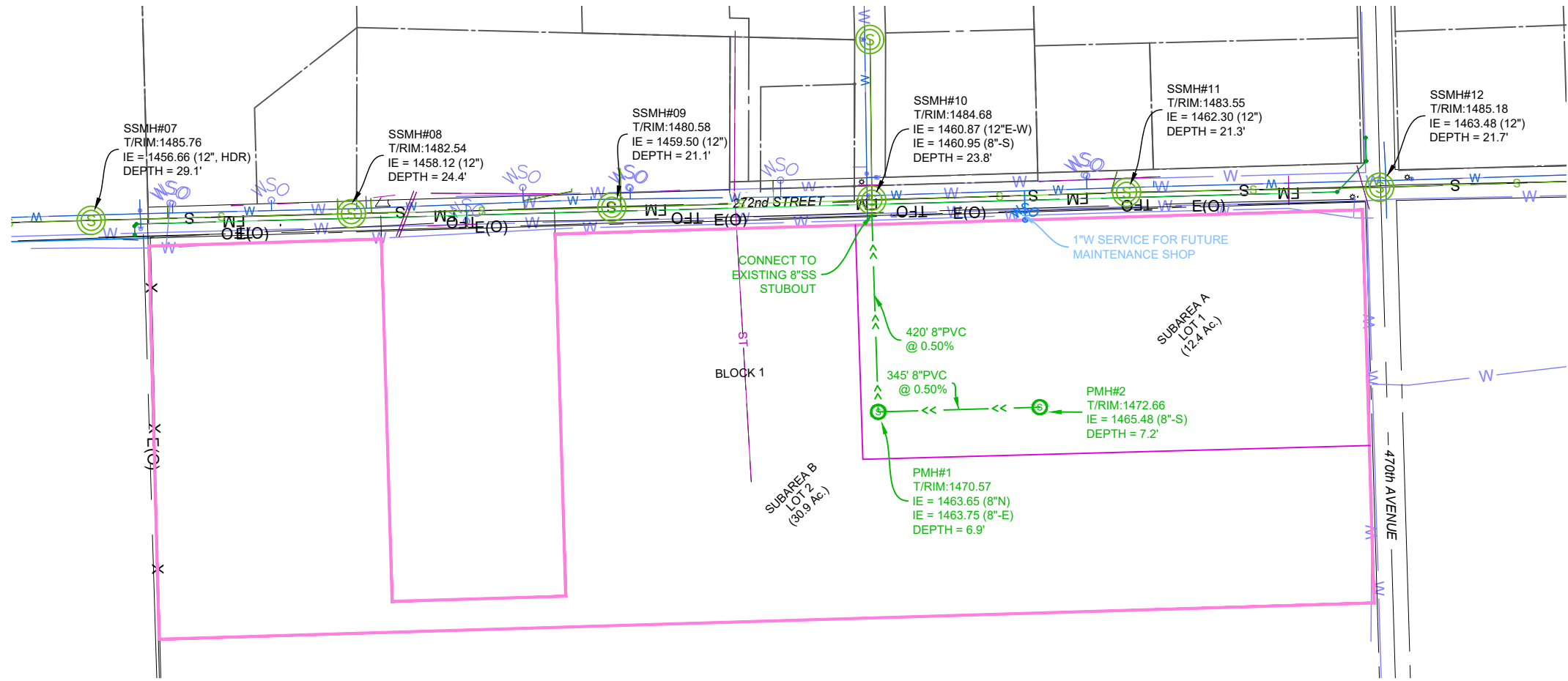
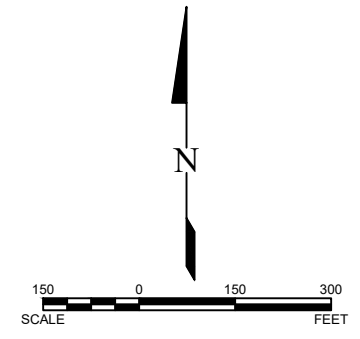
**PRELIMINARY DRAINAGE AND GRADING PLAN**

SHEET  
4

**LEGEND**

- DRAINAGE BASIN BOUNDARY
- PROPOSED DRAINAGE DIRECTION
- PROPOSED SUB-BASIN NUMBER
- EXISTING PROPERTY LINE
- DRAINAGE ARROWS





**LEGEND**

- SECTION LINE
- LOT LINE
- EXISTING PROPERTY LINE
- S --- EXISTING SANITARY SEWER
- W --- EXISTING WATERMAIN
- << --- PROPOSED SANITARY SEWER
- (S) --- PROPOSED SANITARY MANHOLE
- W --- PROPOSED WATERMAIN
- WSO --- PROPOSED WATER SHUT OFF

NO.	DATE	REVISION

DRAFTED  
HMS  
REVIEWED  
EJL

PROJECT NUMBER  
2310-01967  
ISSUE DATE  
03/18/2024

**HARVARD INDUSTRIAL PARK ADDITION**  
HARVARD INTEGRATIONS  
TEA, SOUTH DAKOTA  
**PRELIMINARY UTILITY PLAN**