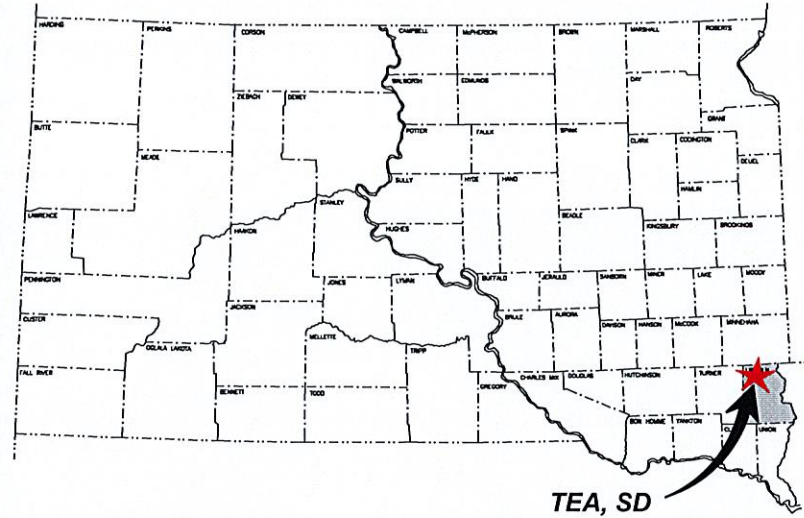


Plot Date: 9/26/2022 3:07:44 PM



TEA, SD

**City of Tea**  
**Lincoln County**

**Plans For Proposed**

**Squealer's Parking Lot Expansion**

**DGR Project No. 672094**

**Plans By:**



DGR ENGINEERING  
2909 E. 57TH STREET, SUITE 101  
SIOUX FALLS, SD 57108  
(605) 339-4157 office  
(605) 339-4175 fax  
www.dgr.com

**Benchmarks:**

BM#1 - LIGHT POLE BASE APPROXIMATELY 188'  
NORTH OF CENTERLINE INTERSECTION OF HERITAGE  
PARKWAY AND GATEWAY LANE.  
ELEVATION = 1501.43' (SD83-SF)

BM#2 - NW PROPERTY PIN APPROXIMATELY 304'  
NORTH OF CENTERLINE INTERSECTION OF HERITAGE  
PARKWAY AND GATEWAY LANE.  
ELEVATION = 1499.07' (SD83-SF)  
NORTHING = 430295.3110 EASTING = 2899374.3990

**Developer/Owner:**

SQUEALER'S SMOKE SHACK  
DUSTIN KUIPERS  
804 GATEWAY LANE  
TEA, SD 57064  
EMAIL ADDRESS: squealerssmokeshack@gmail.com

**Engineer/Surveyor:**

DGR ENGINEERING  
JESSE MORRIS, P.E.  
2909 EAST 57TH STREET - SUITE 101  
SIOUX FALLS, SD 57108  
EMAIL ADDRESS: jesse.morris@dgr.com  
PHONE NUMBER: (605) 339-4157

**Legal Description:**

LOT 3B, BLOCK 1 OF GATEWAY PARK ADDITION TO THE CITY  
OF TEA, LINCOLN COUNTY, SOUTH DAKOTA.

**Zoning:**

GB - GENGERAL BUSINESS

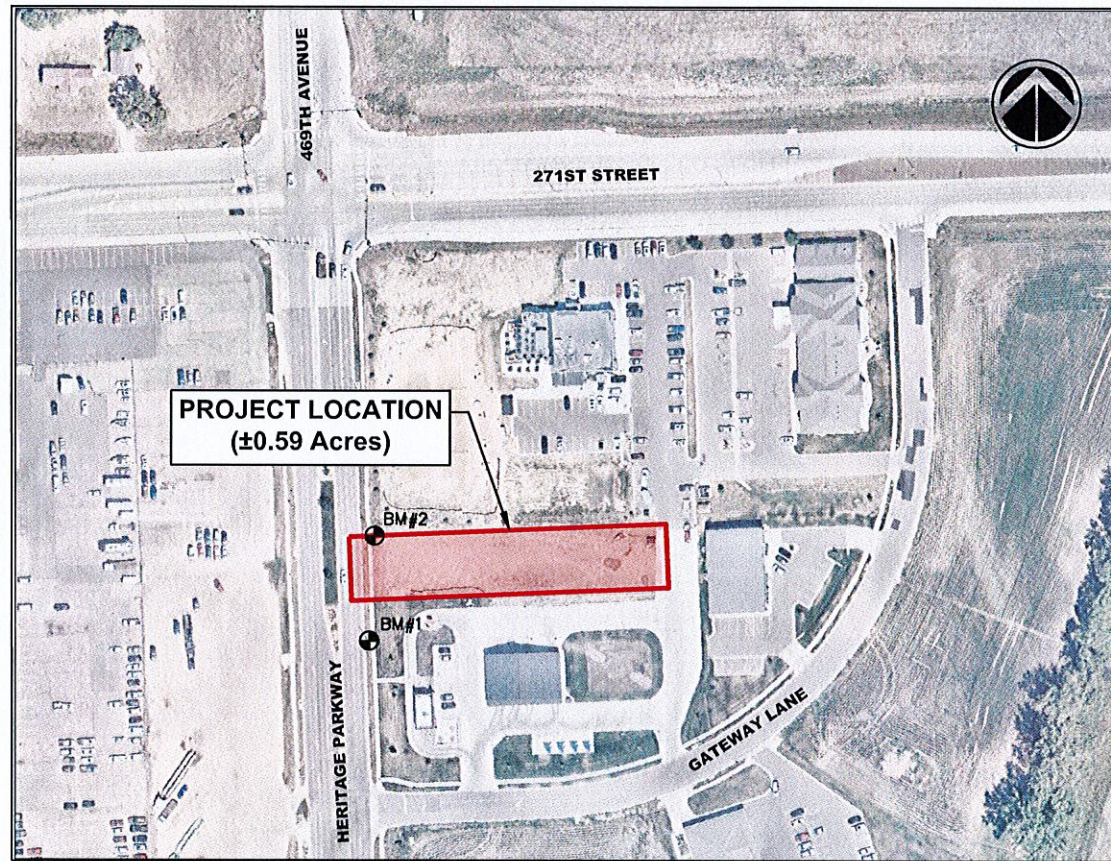
**Setbacks:**

FRONT YARD: 25 FT  
SIDE YARD: 5 FT  
REAR YARD: 5 FT

**SD One Call:**

DRAWING INDICATES GENERAL UTILITY LOCATIONS ONLY.  
NEITHER THE CORRECTNESS OR COMPLETENESS OF  
LOCATIONS ARE GUARANTEED. CONTACT SOUTH DAKOTA  
ONE CALL PRIOR TO EXCAVATIONS (1-800-781-7474).  
INFORMATION ON SECTION-TOWNSHIP-RANGE ARE SHOWN  
ON THE LOCATION MAP ON THIS SHEET.

FOR SOUTH DAKOTA ONE CALL, THE PROJECT IS LOCATED  
IN THE NE $\frac{1}{4}$  OF SECTION 25-T100N-R51W



**Location Map**

Drawing indicates general utility locations only. Neither the  
correctness or completeness of locations are guaranteed.

Prior to excavation contact:  
SOUTH DAKOTA ONE CALL (1-800-781-7474)

**Index of Sheets**

SHEET NO. A1 THRU A2	TITLE SHEET, LEGEND
SHEET NO. F1	TRAFFIC CONTROL
SHEET NO. G1 - G3	EROSION CONTROL PLAN, DETAILS
SHEET NO. H1	EXISTING CONDITIONS AND REMOVALS
SHEET NO. I1	SITE PLAN
SHEET NO. J1 - J2	GRADING AND DRAINAGE PLAN
SHEET NO. N1 - N4	DETAILS



I, Jesse J. Morris, hereby certify that these plans were prepared by  
me, or under my direct supervision and that I am a duly registered  
professional engineer under the laws of the State of South Dakota.

Jesse J. Morris                      S.D. No. 12762                      Date

P:\0672094\DWG\PLANS\672094 - TITLE SHEET.DWG



# LEGEND OF SYMBOLS

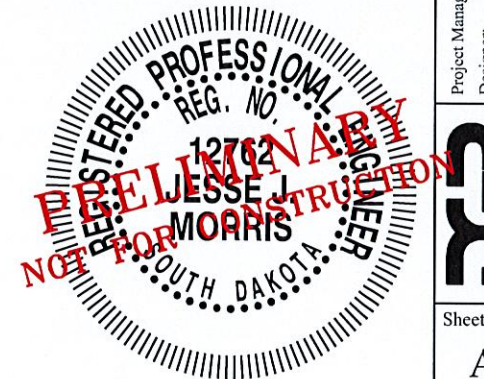
	8" PVC	WATER MAIN, SIZE, AND TYPE		TRAFFIC SIGNAL POLE		MAILBOX	
	W	WATER MANHOLE		ELECTRIC BOX		BOULDER	
		WATER SHUT OFF		ELECTRICAL MANHOLE		RIP RAP	
	WTR/TR	WATER TRACER WIRE PEDESTAL		ELECTRICAL METER		1400	EXISTING MAJOR CONTOUR
		WATER VALVE		ELECTRICAL VAULT		1401	EXISTING MINOR CONTOUR
		FIRE HYDRANT		FLOOD LIGHT		1400	PROPOSED MAJOR CONTOUR
		SPRINKLER HEAD		FIBER OPTIC		1401	PROPOSED MINOR CONTOUR
		CONTROL VALVE		FIBER OPTIC - AT&T			
	8" PVC	SANITARY SEWER MAIN, SIZE, AND TYPE		FIBER OPTIC - CENTURY LINK			
	CO	SANITARY SEWER CLEAN OUT		FIBER OPTIC - MIDCO			
	S	SANITARY SEWER MANHOLE		FIBER OPTIC - SDN			
	12" RCP	STORM SEWER SIZE AND TYPE		FIBER OPTIC - VAST			
	D	STORM SEWER MANHOLE		FIBER OPTIC PEDESTAL			
	GAS	UNDERGROUND GAS		FIBER OPTIC VAULT			
	GM	GAS METER		CENTERLINE			
		GAS VALVE		EASEMENT			
	PROPANE	PROPANE TANK		PROPERTY LINE			
	T	UNDERGROUND TELEPHONE		RIGHT OF WAY LINE			
	T	TELEPHONE PEDESTAL		PROPERTY PIN			
	T/VT	TELEPHONE VAULT		BENCHMARK			
	TV	UNDERGROUND TELEVISION		CONTROL POINT			
	TV	TELEVISION PEDESTAL		FENCE			
	UE	UNDERGROUND ELECTRIC		FENCE POST			
	OHE	OVERHEAD ELECTRIC		RETAINING WALL			
		GUY POLE		ROOF DRAIN			
		GUY WIRE		SIGN			
		POWER POLE		CONIFEROUS TREE			
		POWER POLE WITH LIGHT		DECIDUOUS TREE			
		POWER POLE WITH TRANSFORMER		STUMP			
		POWER POLE WITH LIGHT AND TRANSFORMER		TREE LINE			
		LIGHT POLE		FLAG POLE			

Squealer's Parking Lot Expansion  
Tea, South Dakota

Legend

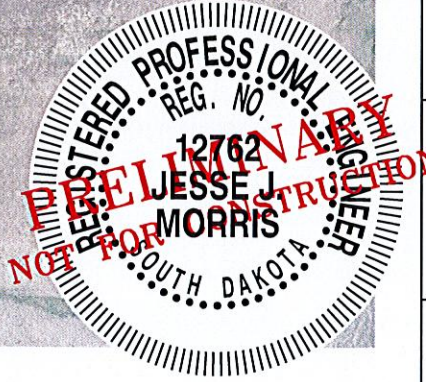
REVISIONS

Project Manager: JJM  
Designer: TJM  
Project Number: 672094  
Phone: (605) 339-4157



Sheet  
A2










Squealer's Parking Lot Expansion Tea, South Dakota	
Traffic Control	
Project Manager: JJM	Designer: TJM
Project Number: 672094	Phone: (605) 339-4157
REVISIONS	
Sheet	F1

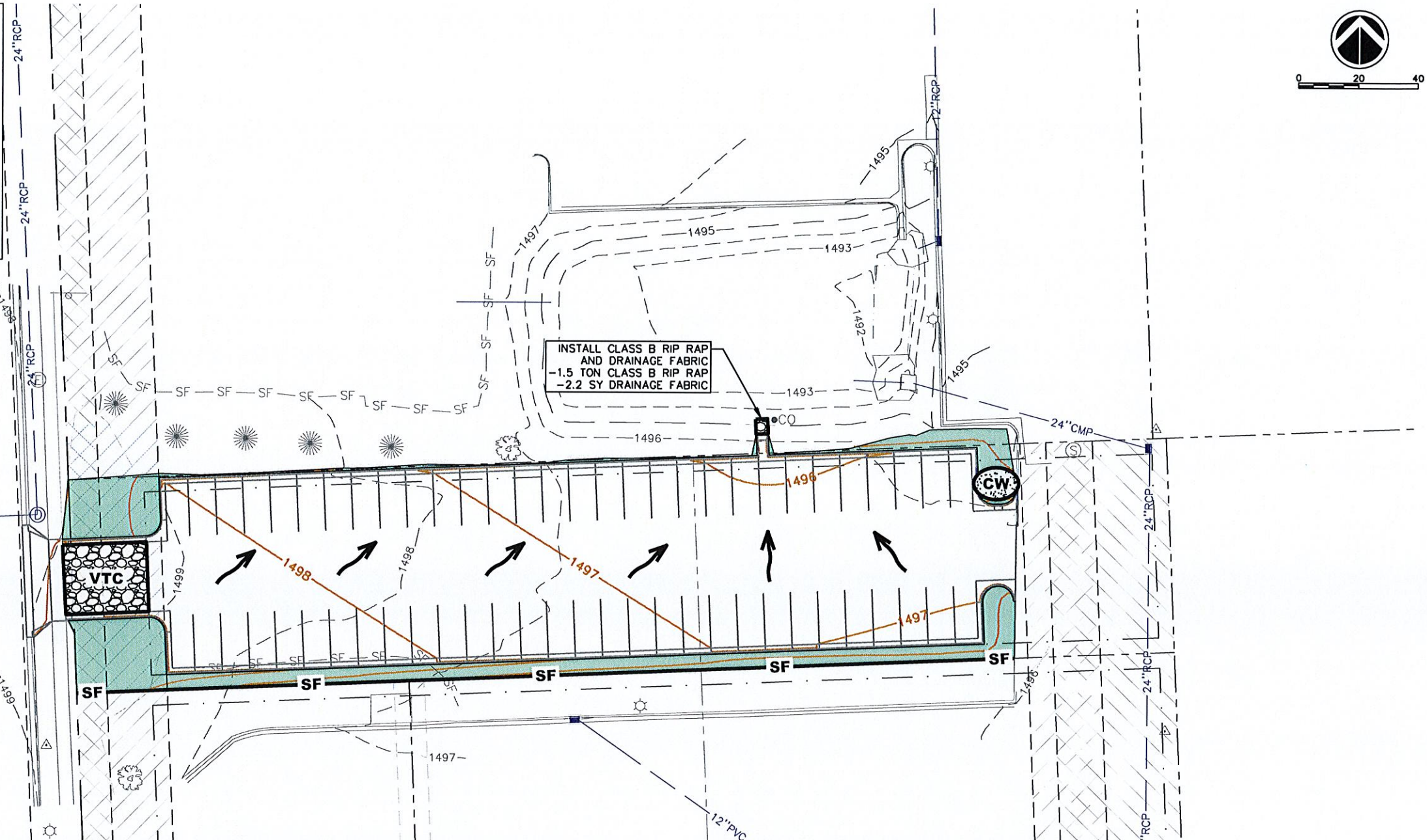


**EROSION CONTROL LEGEND:**

-  - SEED, FERTILIZE, AND HYDROMULCH
-  - SILT FENCE
-  - CONCRETE WASHOUT FACILITY
-  - CLASS B RIP RAP AND TYPE B DRAINAGE FABRIC
-  - VEHICLE TRACKING CONTROL

**EROSION CONTROL QUANTITIES**

311 LF	- SILT FENCE
394 SY	- SEED, FERTILIZE, AND HYDROMULCH
1 EA	- CONCRETE WASHOUT FACILITY
1 EA	- VEHICLE TRACKING CONTROL
1.5 TON	- CLASS B RIP RAP
2.2 SY	- TYPE B DRAINAGE FABRIC



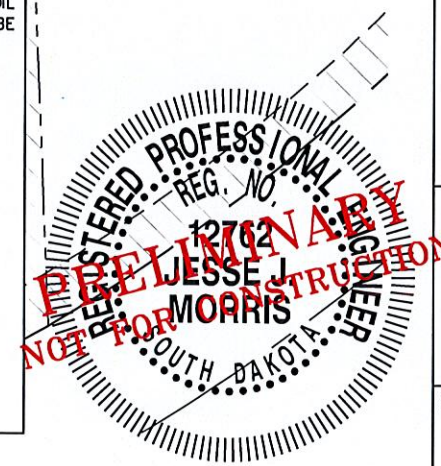
**EROSION CONTROL NOTES:**

1. ALL SEDIMENT AND EROSION CONTROL PRACTICES WILL BE INSPECTED, AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND AFTER ANY STORM EVENT OF GREATER THAN 0.5 INCHES OF PRECIPITATION DURING ANY 24-HOUR PERIOD, BY RESPONSIBLE PERSONNEL. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE BEST MANAGEMENT PRACTICES SHALL BE MADE IMMEDIATELY.
2. FOLLOWING SOIL DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN FOURTEEN (14) CALENDAR DAYS TO THE SURFACE OF ALL PERIMETER SEDIMENT CONTROLS, TOPSOIL STOCKPILES, AND ANY OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WHICH ARE NOT BEING USED FOR MATERIAL STORAGE, OR ON WHICH ACTUAL EARTH MOVING ACTIVITIES ARE BEING PERFORMED.
3. SOIL STABILIZATION SCHEDULE TEMPORARY SEEDING WITH OATS - 2 TO 3 BUSHELS PER ACRE - AND MULCH ALL SLOPES 4:1 AND STEEPER WILL BE INITIATED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR A PERIOD OF MORE THAN 21 CALENDAR DAYS BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED. THIS SEQUENCE SHALL REPEAT AS GROUND COVER IS REMOVED BY SUBSEQUENT CONSTRUCTION ACTIVITY.
4. CONTRACTOR IS RESPONSIBLE FOR PHASING, MOVING, ADDING, REMOVING, AND REPLACING EROSION CONTROL TO FACILITATE CONSTRUCTION ACTIVITIES AND MAINTAIN PERIMETER SEDIMENT CONTROL.
5. APPLY FREQUENT LIGHT WATERING TO GROUND SURFACE AS REQUIRED TO CONTROL DUST.
6. UPON COMPLETION OF CONSTRUCTION: SEED, FERTILIZE, AND MULCH ALL DISTURBED AREAS.
7. MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUBCONTRACTORS. CLEANING OF CONTROL DEVICES SHALL BEGIN WHEN THEY HAVE LOST 50% OF THEIR CAPACITY.
10. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.
11. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENT.
12. AT NO TIME SHALL ANY WATERS FROM THIS PROJECT ENTER THE STORM SEWER OR LEAVE THE PROJECT LIMITS WITHOUT EXPOSURE TO A SEDIMENT FILTRATION DEVICE. ALL DROP INLETS, MANHOLES AND JUNCTION BOXES (EXISTING OR NEW) SHALL HAVE SEDIMENT CONTROL DEVICES PLACED AROUND THEIR PERIMETER DURING ALL STAGES OF CONSTRUCTION EXCEPT DURING THE PLACEMENT OF THE FINAL SURFACING. THIS MAY NECESSITATE MULTIPLE INSTALLATIONS OF THE SEDIMENT CONTROL DEVICES AT THE SAME LOCATION.

INSTALL CLASS B RIP RAP AND DRAINAGE FABRIC  
 -1.5 TON CLASS B RIP RAP  
 -2.2 SY DRAINAGE FABRIC

AREA TO BE DISTURBED: ±0.59 ACRES

THIS PROJECT DISTURBS LESS THAN 1 ACRE, A SDDANR NOTICE OF INTENT PERMIT IS NOT REQUIRED.



Squealer's Parking Lot Expansion  
 Sioux Falls, South Dakota

Erosion Control Plan

Project Manager: JJM  
 Designer: JJM  
 Project Number: 672094  
 Phone: (605) 339-1157



Sheet  
 G1



**REMOVALS LEGEND:**

- REMOVE ASPHALT PAVEMENT
- REMOVE CURB AND GUTTER
- REMOVE CONCRETE PAVEMENT

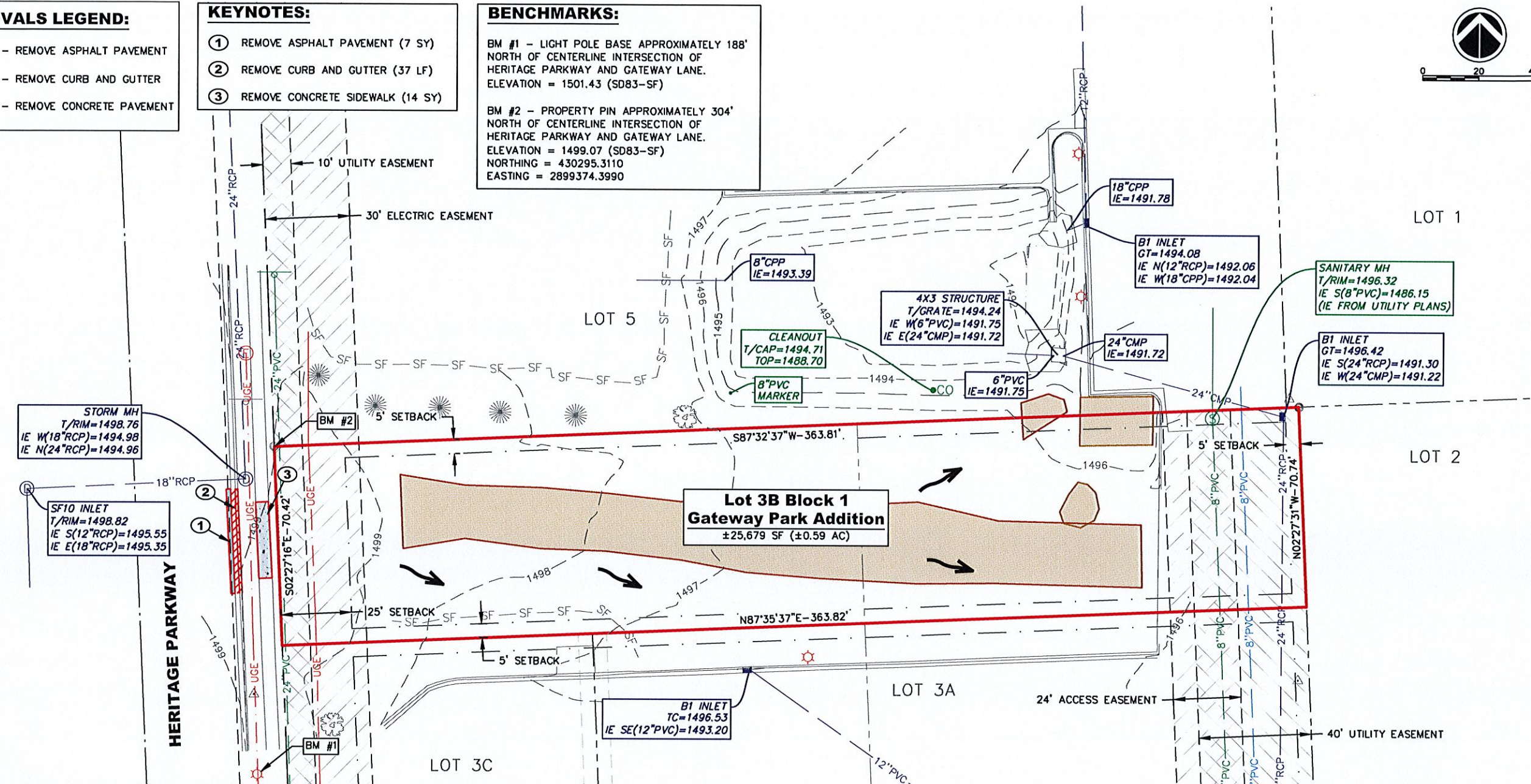
**KEYNOTES:**

- ① REMOVE ASPHALT PAVEMENT (7 SY)
- ② REMOVE CURB AND GUTTER (37 LF)
- ③ REMOVE CONCRETE SIDEWALK (14 SY)

**BENCHMARKS:**

BM #1 - LIGHT POLE BASE APPROXIMATELY 188' NORTH OF CENTERLINE INTERSECTION OF HERITAGE PARKWAY AND GATEWAY LANE. ELEVATION = 1501.43 (SD83-SF)

BM #2 - PROPERTY PIN APPROXIMATELY 304' NORTH OF CENTERLINE INTERSECTION OF HERITAGE PARKWAY AND GATEWAY LANE. ELEVATION = 1499.07 (SD83-SF) NORTHING = 430295.3110 EASTING = 2899374.3990



**GENERAL NOTES:**

BASIS OF BEARINGS FOR THIS SURVEY IS NAD83 SOUTH DAKOTA, SOUTH ZONE, US FOOT.

ALL ELEVATIONS SHOWN ON THIS SURVEY ARE NORTH AMERICAN VERTICAL DATUM OF 1988.

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, EXISTING DRAWINGS, AND CITY GIS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

SUBJECT PROPERTY IS NOT LOCATED WITHIN FEMA FLOODPLAIN PER FLOOD INSURANCE RATE MAP. FEMA PANEL NUMBER IS 46083C0129C, EFFECTIVE 4/02/2008.

CONTRACTOR SHALL SAWCUT ALL PAVEMENT AT THE REMOVAL LIMITS SHOWN TO ESTABLISH A SMOOTH VERTICAL EDGE TO PAVE AGAINST.

THERE ARE NO WETLANDS ON SITE.

**LEGAL DESCRIPTION:**

LOT 3B, BLOCK 1 OF GATEWAY PARK ADDITION TO THE CITY OF TEA, LINCOLN COUNTY, SOUTH DAKOTA.

**ZONING:**

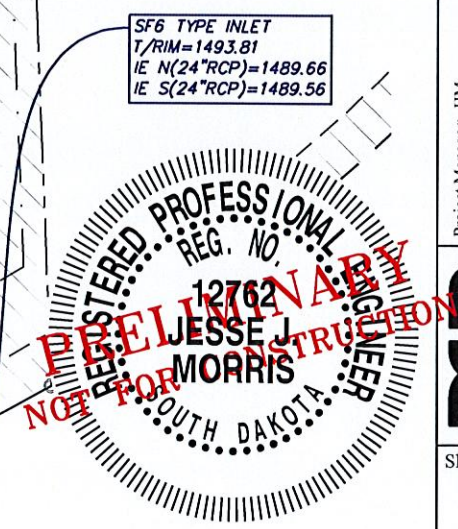
GB - GENERAL BUSINESS

**SETBACKS:**

FRONT YARD: 25 FT  
 SIDE YARD: 5 FT  
 REAR YARD: 5 FT  
 MAX BUILDING HEIGHT: 45 FT

**SURVEY DATE:**

AUGUST 11, 2022



Squealer's Parking Lot Expansion  
Tea, South Dakota

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Existing Conditions and Removals

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Project Manager: JJM  
 Designer: JJM  
 Project Number: 672094  
 Phone: (605) 339-4157

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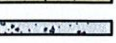

REVISIONS

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Sheet  
H1



**SURFACING LEGEND:**

-  - ASPHALT PAVEMENT
-  - CONCRETE PAVEMENT
-  - CONCRETE SIDEWALK
-  - STANDARD CURB AND GUTTER
-  - BL TYPE CURB AND GUTTER

**PARKING REQUIREMENTS:**

ADDITIONAL PARKING IS PROVIDED FOR THE SQUEALER'S RESTAURANT TO THE NORTH

PARKING PROVIDED = 60 STALLS

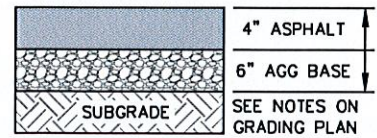
**LANDSCAPING REQUIREMENTS:**

THE UNPAVED PORTION OF A DEDICATED PUBLIC RIGHT-OF-WAY ABUTTING ANY DEVELOPMENT SHALL BE LANDSCAPED WITH SOD, SEED, OR OTHER LIVING GROUND COVER. ONLY DECIDUOUS SHADE TREES MAY BE PLANTED IN THE STREET RIGHT-OF-WAY

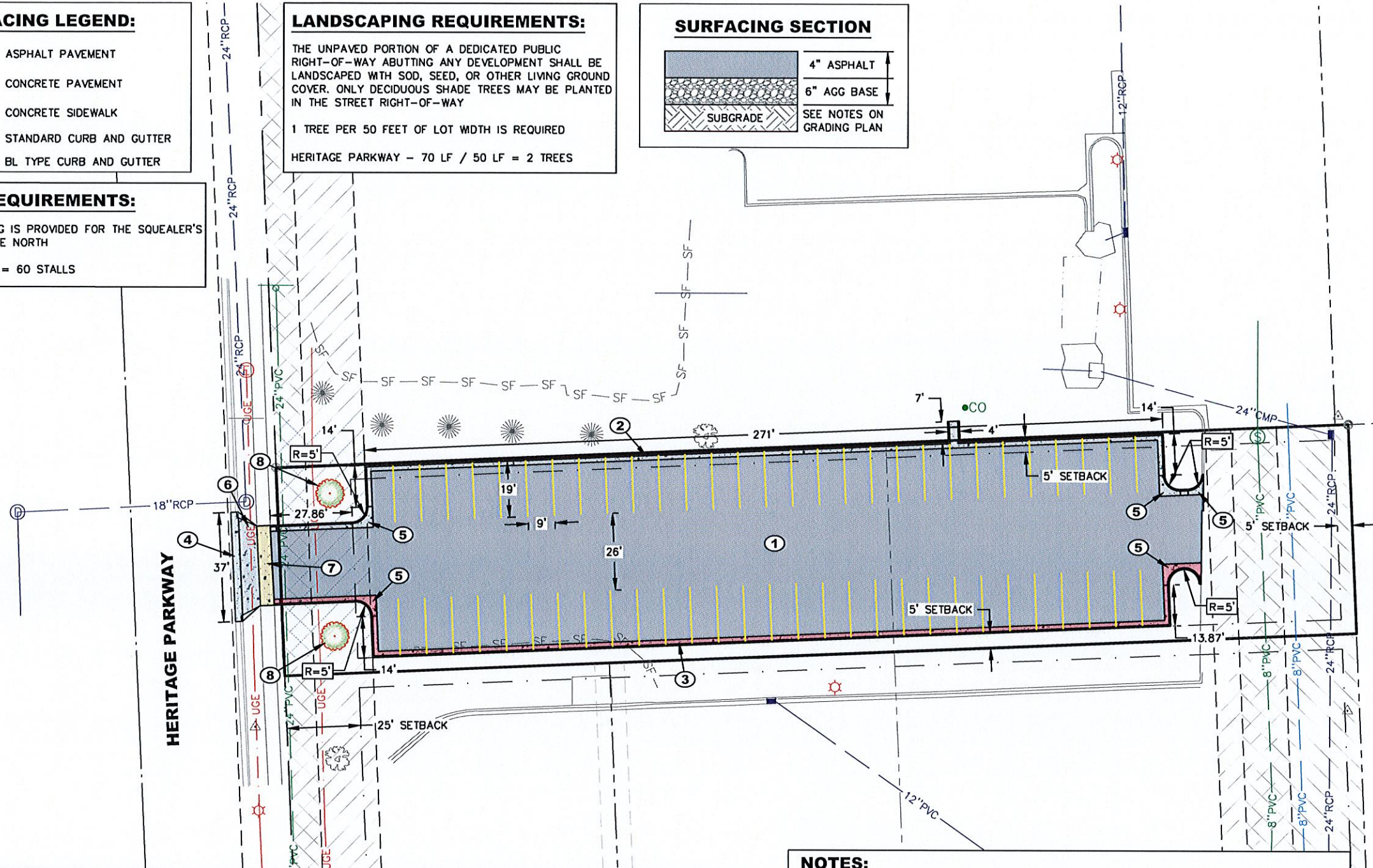
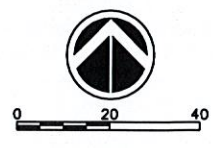
1 TREE PER 50 FEET OF LOT WIDTH IS REQUIRED

HERITAGE PARKWAY - 70 LF / 50 LF = 2 TREES

**SURFACING SECTION**



4" ASPHALT  
6" AGG BASE  
SEE NOTES ON GRADING PLAN  
SUBGRADE



- KEYNOTES:**
- ① INSTALL ASPHALT SURFACING (4") WITH 6" OF AGGREGATE BASE COURSE. INSTALL TWO (2) - 2" LIFTS PER SDDOT STANDARD SPECIFICATIONS (1,934 SY). ASPHALT SURFACING SHALL CONFORM TO SDDOT CLASS G MIX. TOP LIFT SHALL BE CLASS G-2 MIX WITH LOWER LIFTS CONFORMING TO CLASS G-1. A TACK COAT (SS-1H OR CSS-1H) SHALL BE APPLIED BETWEEN EACH LIFT AND ADJACENT PAVEMENT SURFACES AT A RATE OF .05 GAL/SY. SEE SURFACING SECTION DETAIL.
  - ② INSTALL 24" STANDARD CONCRETE CURB AND GUTTER PER DETAIL ON SHEET N2 (330 LF).
  - ③ INSTALL 24" BL TYPE CONCRETE CURB AND GUTTER PER DETAIL ON SHEET N2 (327 LF).
  - ④ INSTALL 30" STANDARD CONCRETE CURB AND GUTTER PER DETAIL ON SHEET N2 (37 LF)
  - ⑤ INSTALL 6" PCC FILLET CORNER PER STANDARD DETAIL ON SHEET N1. (18 SY).
  - ⑥ INSTALL 6" PCC DRIVEWAY PAVEMENT (22 SY).
  - ⑦ INSTALL 6" CONCRETE SIDEWALK WITH 2" OF AGGREGATE BASE COURSE IN ACCORDANCE WITH ALL ADA GUIDELINES AND SDDOT STANDARD SPECIFICATIONS (126 SF). EXPANSION MATERIAL SHALL BE INSTALLED WHERE THE PROPOSED SIDEWALK ABUTS THE EXISTING CONCRETE SURFACES. SIDEWALK JOINTING PATTERN SHALL NOT EXCEED 5'X5'.
  - ⑧ INSTALL 2" MINIMUM CALIPER DECIDUOUS TREE (2 TREES)

**NOTES:**

ALL WORK AND MATERIALS SHALL CONFORM TO THE SOUTH DAKOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, CURRENT EDITION.

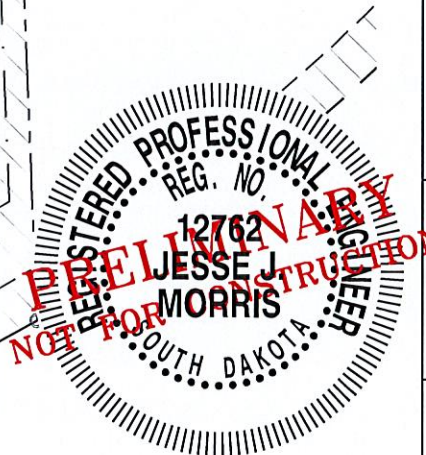
CONCRETE USED ON THIS PROJECT SHALL CONFORM TO CLASS M-6 OF THE SDDOT STANDARD SPECIFICATIONS SECTION 462, UNLESS OTHERWISE NOTED.

A 1/2" PREFORMED EXPANSION MATERIAL SHALL BE PLACED BETWEEN THE PROPOSED CONCRETE PAVEMENT WHEN INSTALLED ADJACENT TO EXISTING CONCRETE PAVEMENT AND BUILDINGS.

CONCRETE JOINT SEALANT SHALL BE USED FOR ALL CONCRETE PAVEMENT. SEALANT SHALL BE HOT POURED ELASTIC JOINT SEALANT OR LOW MODULUS SILICONE SEALANT AS SPECIFIED IN THE SDDOT STANDARD SPECIFICATIONS, SECTION 870, CURRENT EDITION.

ALL CONCRETE SHALL BE CURED IN ACCORDANCE WITH SECTION 380.3.M.2. CURING COMPOUND MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 821.1.C.

ALL PAINT FOR PAVEMENT MARKINGS SHALL CONFORM TO PART B "PAINT" OF SECTION 633 "PAVEMENT MARKINGS" IN PART F "INCIDENTAL GRADING" OF THE LATEST EDITION SDDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES.



Squealer's Parking Lot Expansion  
Tea, South Dakota

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Site Plan

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REVISIONS

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Project Manager: JJM  
Designer: TJM  
Project Number: 672094  
Phone: (605) 339-4157

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**EGR**  
ENGINEERING

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Sheet  
**11**



Plot Date: 9/26/2022 2:08:26 PM

P:\0672094\672094\DWG\PLANS\672094 - GRADING PLAN.DWG

**ABBREVIATIONS:**

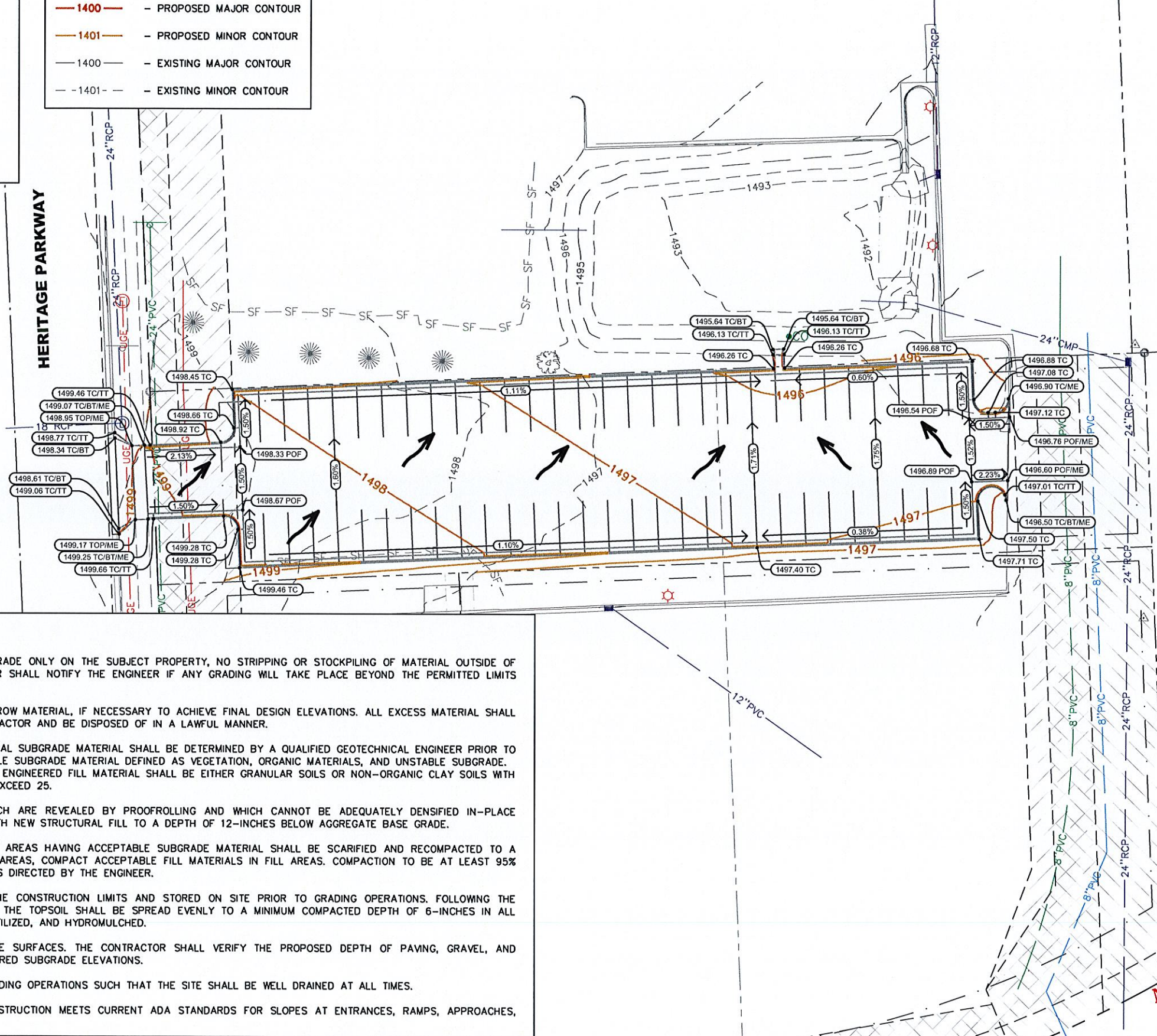
- BT - BOTTOM OF TAPER
- FL - FLOW LINE
- ME - MATCH EXISTING
- POF - POINT OF FILLET
- SW - TOP OF SIDEWALK
- TC - TOP OF CURB
- TOP - TOP OF PAVEMENT
- TT - TOP OF TAPER

**GRADING LEGEND:**

- 1400 — PROPOSED MAJOR CONTOUR
- 1401 — PROPOSED MINOR CONTOUR
- - 1400 - - EXISTING MAJOR CONTOUR
- - 1401 - - EXISTING MINOR CONTOUR



**HERITAGE PARKWAY**



**GRADING NOTES:**

CONTRACTOR SHALL TAKE CARE TO GRADE ONLY ON THE SUBJECT PROPERTY, NO STRIPPING OR STOCKPILING OF MATERIAL OUTSIDE OF THE PROJECT LIMITS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY GRADING WILL TAKE PLACE BEYOND THE PERMITTED LIMITS OF DISTURBANCE.

CONTRACTOR SHALL FURNISH ALL BORROW MATERIAL, IF NECESSARY TO ACHIEVE FINAL DESIGN ELEVATIONS. ALL EXCESS MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND BE DISPOSED OF IN A LAWFUL MANNER.

ACCEPTABILITY OF THE EXISTING NATURAL SUBGRADE MATERIAL SHALL BE DETERMINED BY A QUALIFIED GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF ANY FILL. UNACCEPTABLE SUBGRADE MATERIAL DEFINED AS VEGETATION, ORGANIC MATERIALS, AND UNSTABLE SUBGRADE. ACCEPTABLE SUBGRADE MATERIAL AND ENGINEERED FILL MATERIAL SHALL BE EITHER GRANULAR SOILS OR NON-ORGANIC CLAY SOILS WITH L.L. LESS THAN 45 AND P.L. NOT TO EXCEED 25.

UNSTABLE OR UNSUITABLE SOILS WHICH ARE REVEALED BY PROOFROLLING AND WHICH CANNOT BE ADEQUATELY DENSIFIED IN-PLACE SHALL BE REMOVED AND REPLACED WITH NEW STRUCTURAL FILL TO A DEPTH OF 12-INCHES BELOW AGGREGATE BASE GRADE.

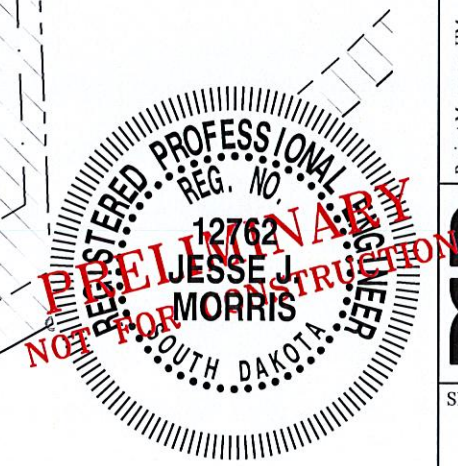
SUBGRADE PREPARATION IN PAVEMENT AREAS HAVING ACCEPTABLE SUBGRADE MATERIAL SHALL BE SCARIFIED AND RECOMPACTED TO A DEPTH OF 8-INCHES MINIMUM IN CUT AREAS, COMPACT ACCEPTABLE FILL MATERIALS IN FILL AREAS. COMPACTION TO BE AT LEAST 95% OF STANDARD PROCTOR DENSITY OR AS DIRECTED BY THE ENGINEER.

TOPSOIL SHALL BE REMOVED FROM THE CONSTRUCTION LIMITS AND STORED ON SITE PRIOR TO GRADING OPERATIONS. FOLLOWING THE COMPLETION OF GRADING OPERATIONS, THE TOPSOIL SHALL BE SPREAD EVENLY TO A MINIMUM COMPACTED DEPTH OF 6-INCHES IN ALL DISTURBED AREAS TO BE SEEDED, FERTILIZED, AND HYDROMULCHED.

CONTOURS REPRESENT FINISHED GRADE SURFACES. THE CONTRACTOR SHALL VERIFY THE PROPOSED DEPTH OF PAVING, GRAVEL, AND TOPSOIL AREAS TO ACHIEVE THE REQUIRED SUBGRADE ELEVATIONS.

THE CONTRACTOR SHALL CONTROL GRADING OPERATIONS SUCH THAT THE SITE SHALL BE WELL DRAINED AT ALL TIMES.

CONTRACTOR SHALL ENSURE ALL CONSTRUCTION MEETS CURRENT ADA STANDARDS FOR SLOPES AT ENTRANCES, RAMPS, APPROACHES, SIDEWALKS AND PARKING STALLS.



Squealer's Parking Lot Expansion  
Tea, South Dakota

Grading Plan

REVISIONS

Project Manager: JIM  
 Designer: JIM  
 Project Number: 672094  
 Phone: (605) 339-4157



Sheet

J1



**LEGEND:**

- LOT 3B
- LOT 5
- EXISTING POND

**DRAINAGE INFORMATION:**

TRIBUTARY AREA (LOT 3B) = 0.59 ACRE  
 TRIBUTARY AREA (LOT 3B + 5) = 3.25 ACRE

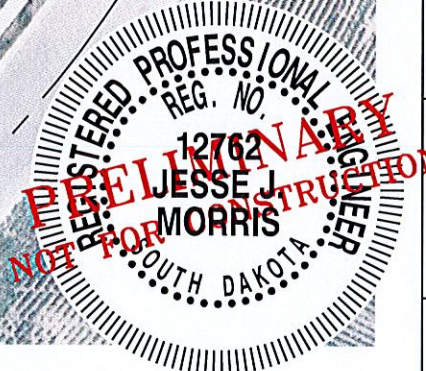
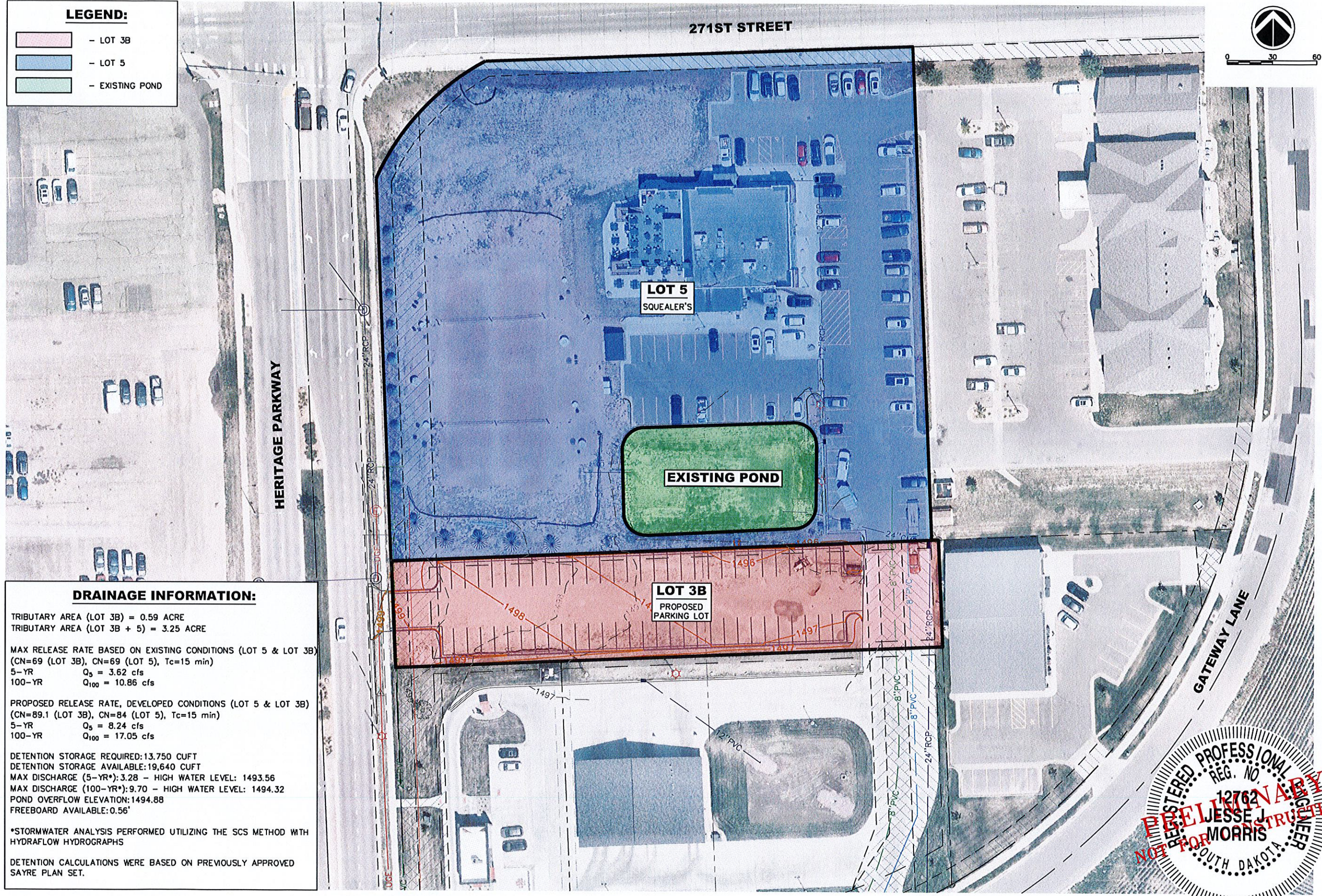
MAX RELEASE RATE BASED ON EXISTING CONDITIONS (LOT 5 & LOT 3B)  
 (CN=69 (LOT 3B), CN=69 (LOT 5), Tc=15 min)  
 5-YR Q<sub>5</sub> = 3.62 cfs  
 100-YR Q<sub>100</sub> = 10.86 cfs

PROPOSED RELEASE RATE, DEVELOPED CONDITIONS (LOT 5 & LOT 3B)  
 (CN=89.1 (LOT 3B), CN=84 (LOT 5), Tc=15 min)  
 5-YR Q<sub>5</sub> = 8.24 cfs  
 100-YR Q<sub>100</sub> = 17.05 cfs

DETENTION STORAGE REQUIRED: 13,750 CUFT  
 DETENTION STORAGE AVAILABLE: 19,640 CUFT  
 MAX DISCHARGE (5-YR\*): 3.28 - HIGH WATER LEVEL: 1493.56  
 MAX DISCHARGE (100-YR\*): 9.70 - HIGH WATER LEVEL: 1494.32  
 POND OVERFLOW ELEVATION: 1494.88  
 FREEBOARD AVAILABLE: 0.56'

\*STORMWATER ANALYSIS PERFORMED UTILIZING THE SCS METHOD WITH HYDRAFLOW HYDROGRAPHS

DETENTION CALCULATIONS WERE BASED ON PREVIOUSLY APPROVED SAYRE PLAN SET.



Squealer's Parking Lot Expansion  
Tea, South Dakota

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Drainage Plan

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Project Manager: JJM  
 Designer: TJM  
 Project Number: 672094  
 Phone: (605) 339-4157

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